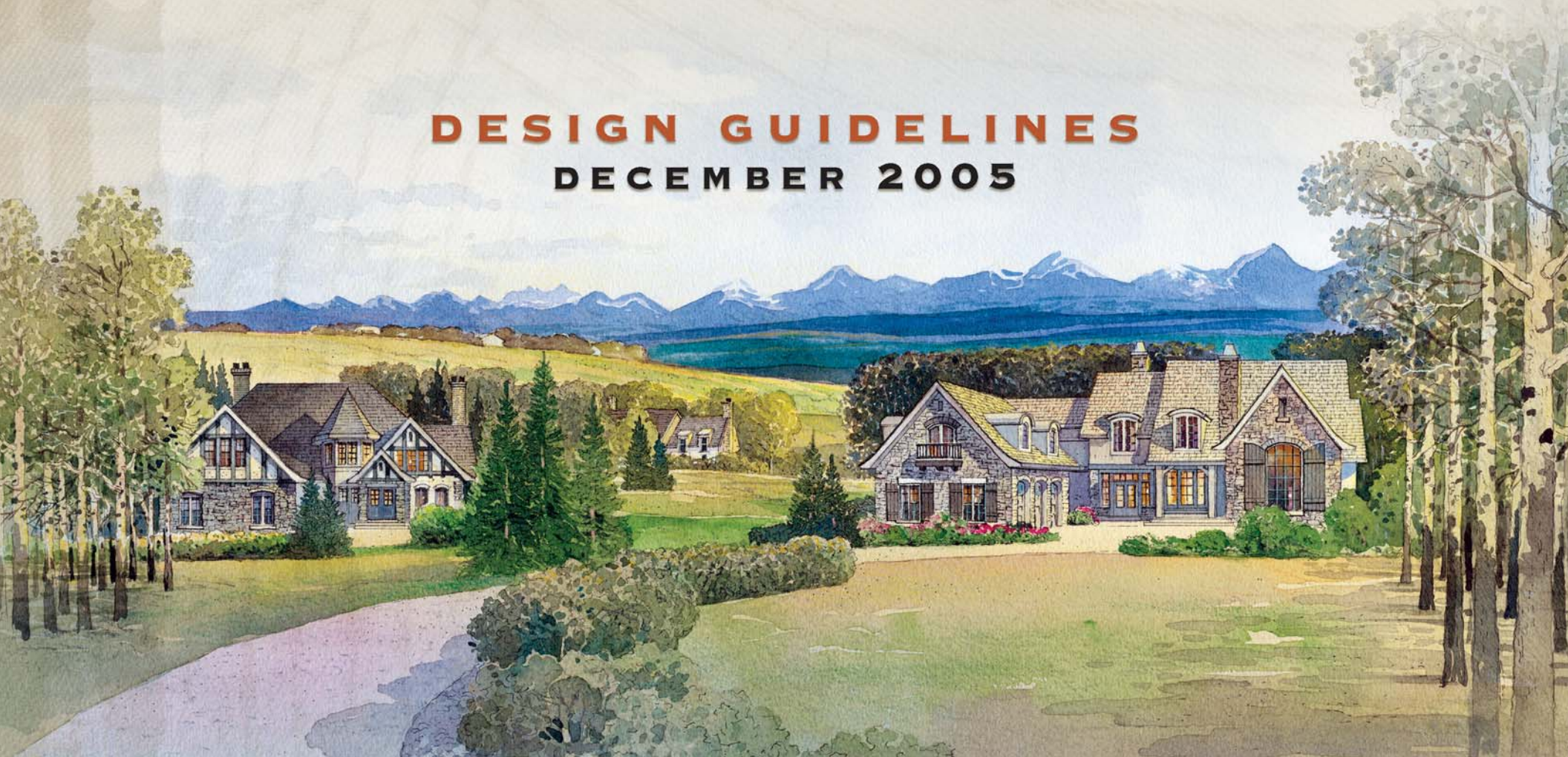




*Nature's Hidden Splendour*

**DESIGN GUIDELINES**  
**DECEMBER 2005**





*Nature's Hidden Splendour*

# DESIGN GUIDELINES

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## **INTRODUCTION**

### **SETTING**

Grandview Park is found in a peaceful park-like setting overlooking and bordering the scenic Elbow River Valley. The gently rolling uplands of the site encompass both lush meadows and thriving groves of poplar and aspen. A small herd of grazing deer may often be observed in the natural coulee that runs through the land and many soaring birds make this their home. Extraordinary views of the Rocky Mountains and the beautiful rolling terrain create an abundance of home and site development opportunities for the new residents of Grandview Park.

### **VISION**

The Grandview Park development philosophy is infused with a sense of respect for the integrity of the land. With this respect for the natural surroundings and the thoughtful creation of beautiful homes of old world quality, a community of uncompromising quality will emerge. Ample opportunity for individuality of design is offered through these Design Guidelines with home styles true to the 1920's theme. Through the preservation, restoration and enhancement of natural areas, the environmental integrity of Grandview Park and the surrounding area will be improved, further enhancing the quality of life. Traditional architecture, classic finishing, quality materials, and thoughtful landscape design will culminate to create a joyful harmony in the community. Life's simple pleasures – beauty, vitality, comfort, and enrichment are all in the “grand” design.

### **HISTORICAL ROOTS**

Grandview Park already has roots within our community. Archeological studies have shown the land to have numerous prehistoric campsites, as well as a bison kill site within its boundaries. Some of the buried archeological finds have dated back to over 6,800 years ago. Through the study and preservation of these sites Grandview Park looks to the future, with significant ties to the past.



### **RECENT HISTORY**

In more recent times the oldest known title to the lands of Grandview Park shows the ownership to the property was granted to Thomas Michael and Ruth Michael in May of 1906. The property was sold to Robert Wellington Robinson in April of 1910 and later willed to his son David Lawrence Robinson in 1933. The property was later sold to Richard Griffith Reese and was sold from his wife's estate in 1993 to Springshire Developments Ltd. In 2001, Grand Development Corp. purchased the land from Springshire Developments Ltd. and commenced an application with the MD of Rocky View. Subdivision approval was received on May 24, 2005.

## **DESIGN PRINCIPLES**

### **HOUSE BEAUTIFUL MOVEMENT**

The Grandview Park Design Guidelines embrace the architecture of the House-Beautiful Movement of North America. The House-Beautiful Movement came about between 1900-1920 during an unprecedented burst in home building. It was a time when finally each family could not only own a home, but have some choice in its site and style. The movement strove for unity of design, humanization of labour and quality for everyone. The ornamentation of houses made them more saleable, as purchasers found styled houses more attractive and preferable to unadorned ones. A home built during this period had three basic qualities:

- Security (Home as a refuge)
- Roots in the Past (A sense of history)
- Virtue (Family stability)

People fundamentally believed that design could change people's lives, that the design of objects mattered and that the built up environment mattered. In terms of housing it was believed that people living in these houses, having these objects and raising their children in these houses would result in a wholesome life, upstanding citizens and a peaceful and prosperous country.



**TUDOR**



**CRAFTSMAN**



**VICTORIAN  
(QUEEN ANNE)**



**PRAIRIE**



**ARTS AND CRAFTS  
(SHINGLE STYLE)**



**FRENCH COUNTRY**

## 1920'S REVIVAL STYLES

What are now termed the 1920's revival styles are typical of the House-Beautiful Movement. These styles include:

### **TUDOR**

An eclectic style, Tudor encompasses Elizabethan and Jacobean architecture. The half timbering often found on this style can be real or applied, but should be designed to look structural, like the bones of the building, and not applied to be fanciful or pretentious.

### **DEFINING CHARACTERISTICS**

- Steeply pitched roofs
- Multiple front gables
- Prominent chimneys
- Grouped casement windows
- Stucco or masonry cladding



## CRAFTSMAN

The qualities of hand craftsmanship are the basis for the Craftsman Style of architecture. Influenced through the mastery of Gustave Stickley and the Greene brothers the style persisted throughout the 1920's. The style is characterized by the extensive use of natural, often rustic materials, broad overhangs with exposed rafter tails and even extensive use of pergolas and trellises over the always appropriate front porches.

## DEFINING CHARACTERISTICS

- Cross gable roofs
- Side gables
- Bracketed eaves with broad overhangs
- Battered bases
- Extensive trim work
- Grouped transom windows



## FRENCH COUNTRY

Care and restraint come into play when designing within this style of architecture. French Country or French Rural architecture is subtle and refined in its detailing and should not be confused with the overly embellished stylings of the neo-french eclectic architecture often found throughout the suburbs. The works of Mellor, Meigs & Howe displays some of the most elegant work within this style from the 1920's. This style of architecture is characterized by steeply pitched roofs that flare ever-so subtly at the eaves, circular stair towers, casement windows and substantial, uncoursed stonework.

## DEFINING CHARACTERISTICS

- Steeply pitched roofs
- Subtly flared curves at eaves
- Towered roof lines
- Casement windows
- Extensive uncoursed stone work

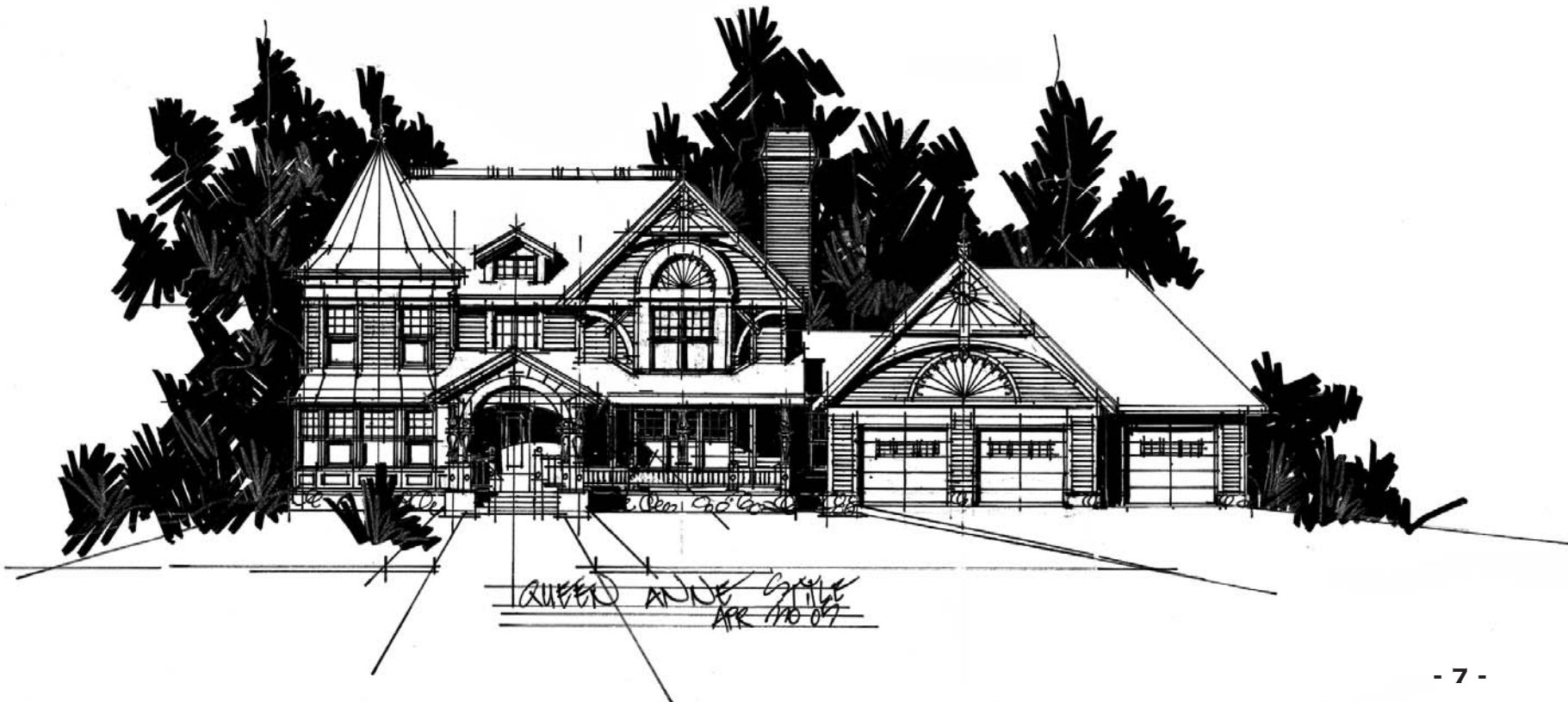


## VICTORIAN (QUEEN ANNE)

This style evolved in England as an outgrowth of the House Beautiful and Arts and Crafts Movements. The English interpretation of this style differs widely from the American version. English Queen Anne houses were built of brick with detailing often taking place within the stone work itself. Varied shingle patterns and wall surfaces and wrap-around porches characterized this style. The use of mass produced "Victorian" details should be used with restraint as the emphasis, as with the other styles mentioned here, is on the hand-crafted feel of the architecture.

## DEFINING CHARACTERISTICS

- Towered roof lines
- Half timbering
- Assertive chimneys
- Varied surface patterns
- Use of knees braces, brackets and spindles
- Generous front porches



## PRAIRIE

The Prairie style is one of the only truly regional styles listed here. Developed by Frank Lloyd Wright the Prairie school invented new decorative motifs and rejected all details that derived from European precedent. Open planning, strong horizontal emphasis and bands of casement windows define the style. Stucco boxes with low sloped roofs are not enough to characterize this style and careful attention to detailing needs to be undertaken when working to re-create a Prairie style home.

## DEFINING CHARACTERISTICS

- Shallow pitched roofs
- Generous overhangs with dentilled fascia
- Strong geometric shapes
- Parapeted railings
- Extensive coursed stone or brick work



### ARTS AND CRAFTS (SHINGLE STYLE)

This style is drawn from the Queen Anne , the vernacular colonial styles, and the Colonial Revival styles to create something new and fresh. This style is organic with a very open and fluid feel. Often the lower courses, even the entire main floor were of masonry construction and the upper courses of shingles were left to weather. The style is casual but still ordered, disciplined and comfortable and evokes a sense of casual dignity.

### DEFINING CHARACTERISTICS

- Steeply pitched roofs
- Double hung sash windows
- Wrap-around porches
- Extensive use of shingles
- Lower courses of masonry



## **BUILDING FORMS**

Building forms should be appropriate to the style they embody. Different roof pitches, material placements and detailing all vary based on the style you chose. Styles should maintain a consistency of theme and architectural authenticity. French style turrets have no place on a Prairie style home, while deep overhangs with heavy eave brackets don't belong on a Victorian.

### **Minimum sizes of homes vary based on the following type:**

#### **Bungalows**

minimum 2000 square feet on the main floor.

#### **Two-storey and Split-levels**

Minimum 2800 square feet total, with at least 1500 square feet of the total being on the main floor.

#### **One and One Half Storeys**

Minimum 1800 square feet on the main floor.

The intent of these minimums is to maintain a feeling of consistency throughout the community, and preventing one home from being dominated by all the others.

When two storeys are desired on a walk-out lot, the upper floor must be set back to be incorporated into the roof structure. All homes are subject to a 7.0m (23') eave height, measured from grade on all sides. As well, a maximum overall height of 10.0m (32.8') will be allowed, calculated as the average of the heights on all elevations. All lots will be subject to a maximum impervious coverage of 20% of the total lot area.

An individual development permit for an over height roof line can be applied for from the MD of Rocky View and will be approved provided the roof height does not exceed 10.67m (35') and upon the review of the architectural build package of the home. Over height applications for shallow pitch roof styles such as the Prairie will not be approved. Allow a minimum of an additional 8 weeks to the building permit process.

## **VARIETY**

Each house will be assessed based on its surroundings and home styles should be complementary to other homes that may already be present. No plan will be allowed to be duplicated in Grandview Park without major revisions to the exterior elevations. Homes should have their own individual identity and repetition will not be permitted.

## **DESIGN GUIDELINES**

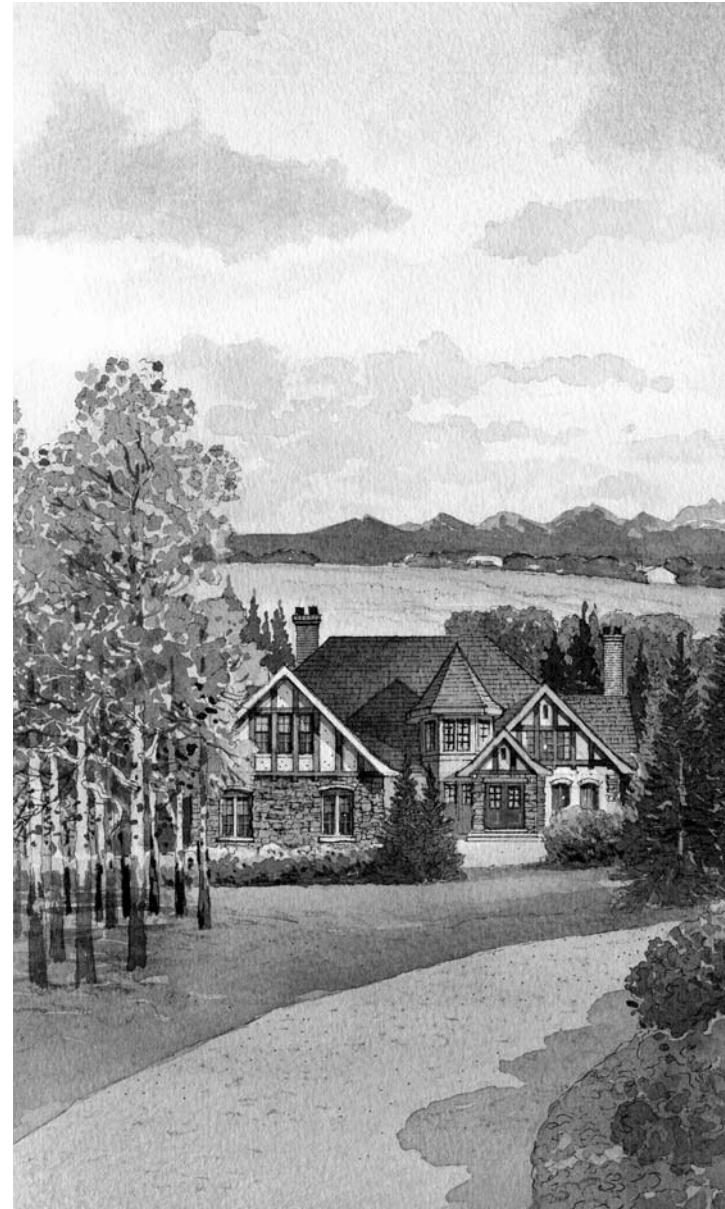
### **BUILDING FORM**

When beginning the design of a new home, certain principles will dictate the overall form the house will take. The process should begin with an examination of what the specific site has to offer. Sun patterns, prevailing wind, view lines and the relationship of each room to not only the site, but to each other within the interior space. The shape of the lot should be considered. Is it deep or wide and where do the location of outdoor amenity spaces make the most sense? Are there sheltered areas and how will the natural slope of the land affect things? As a three dimensional image begins, consideration should be given to the roof. How does it relate to not only the style of your home, but to the land forms and vegetation particular to your site.

The objective is to make the new home fit naturally into its setting. A house should take its place in the community complementing the landscape, as if it had always existed there.

### **PROPORTION**

Proportion is perhaps the single most important aspect in designing a good home. Developing good proportion in a design demands that a house should not only relate to its site, but also to itself. Its order and elements should all relate to one another. This requires a skilled designer who will refine and adjust details along the way to achieve the correct result. A well balanced home should have no dominating elements and it should be in scale to its surroundings.



## ROOF SHAPES

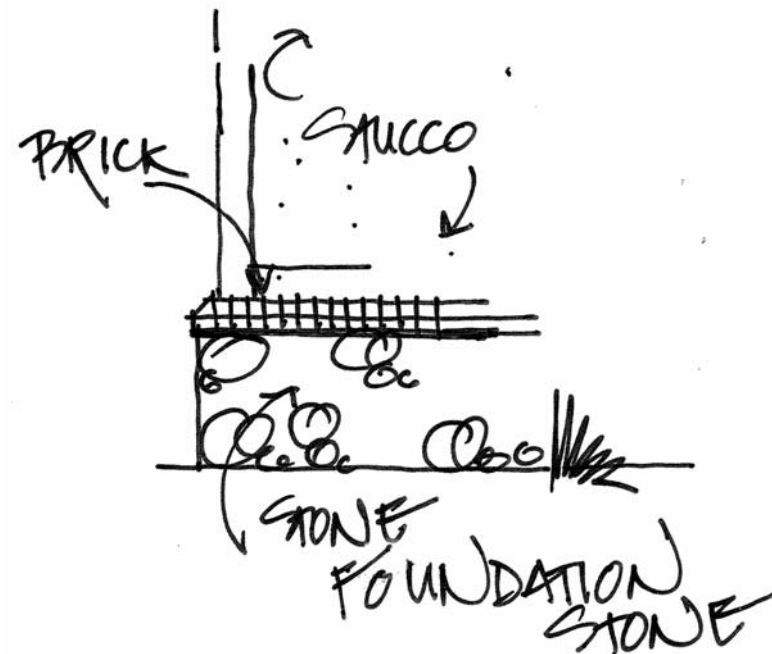
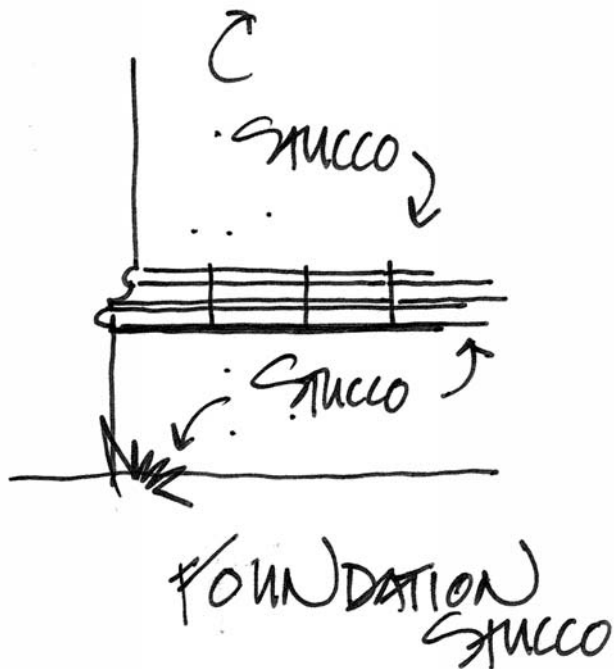
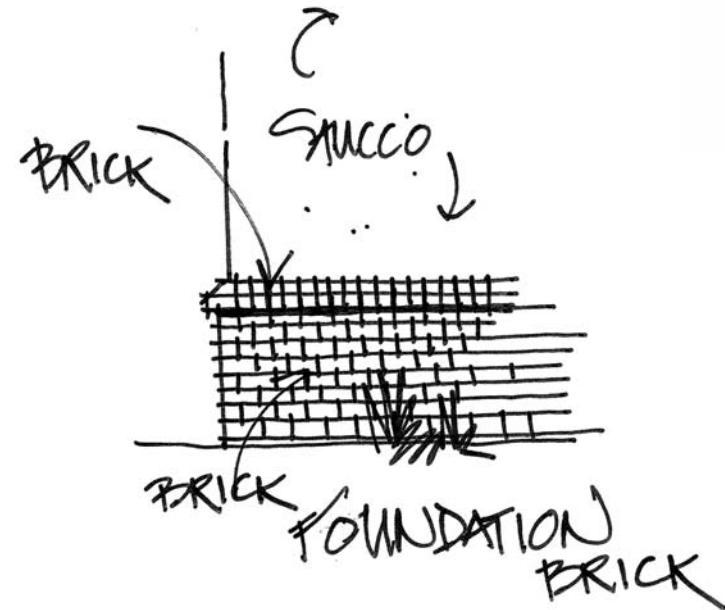
Roof design shall be reviewed based upon its appropriateness to the style of the home. A roof slope of 5/12 minimum can be used, but would be much more appropriate to the Craftsman and Prairie styles, where 12/12 is more applicable to Tudor, French and Arts & Crafts styles. In all cases, restraint should be employed when designing the roof. Focus should be placed upon important elements, and roof lines should not compete for attention. Dormers, overhangs and chimneys are encouraged as design features when incorporated into the design as a whole. None of these elements should be subordinate to the home and should never give the impression they have been “tacked-on”.

Skylights will be discouraged but will be considered when designed into the roof line and not visible from the road or front of the home. No bubble skylights will be allowed.



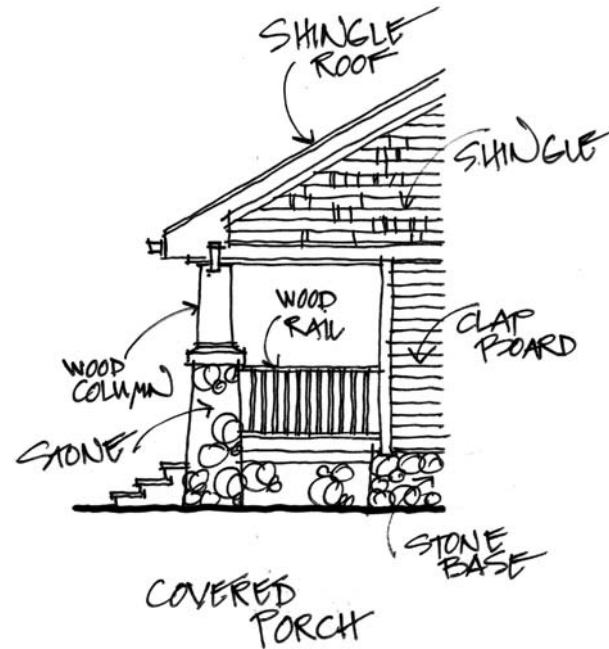
## FOUNDATIONS

Homes in Grandview Park should all maintain an anchored feeling to their surroundings. To accomplish this all homes will be required to have a base detail. Bases can be built-out stucco (2" minimum projection), shingle flare, or masonry. Wing walls, stairs and planters may be considered as a means of providing a transition from house to grade where appropriate.



## PORCHES AND OUTDOOR ROOMS

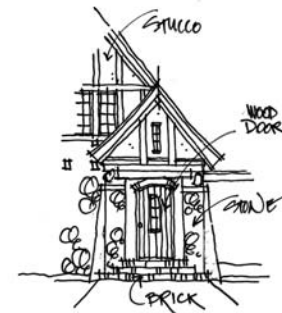
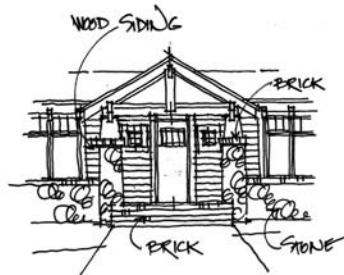
Due to the nature of the weather around Calgary, outdoor spaces are encouraged to take advantage of the many hours of sunshine received here. Areas such as screened porches, pergolas and courtyards are best planned during the preliminary stages of design. These elements can add a lot of charm to a house and should be designed as integral elements of the home and not appear as obtrusive add-ons. Details should be consistent with those of the main body of the home and finished to the same standard. Pre-fab sunroom kits will not be allowed in Grandview Park.



## ENTRANCES

Entrances need to be well articulated on the front of the home and clearly identifiable. Sheltering overhangs should be provided, and where appropriate porches and patios are strongly encouraged. Front porches are proven in facilitating casual socializing and aiding in building a strong sense of community, very much in keeping with the intent of Grandview Park.

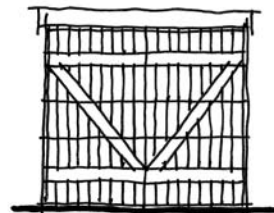
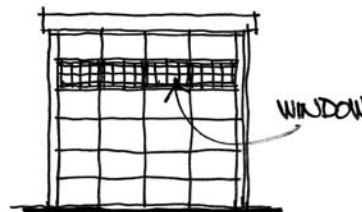
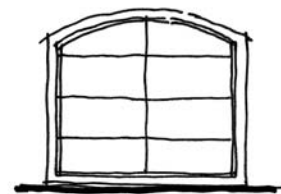
Entries need to be proportioned to the scale of the front door. No two storey entries will be allowed. Soffits over entries and porches are to be of wood. Front doors are to be of wood or wood composite materials with no standard steel doors being permitted. A minimum width of 3'-6" will be required for the front entrance for a single door, and 5'-0" minimum for a set of double doors.



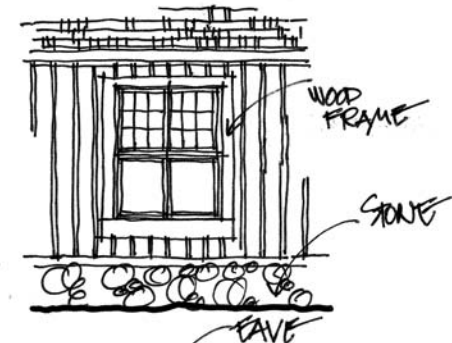
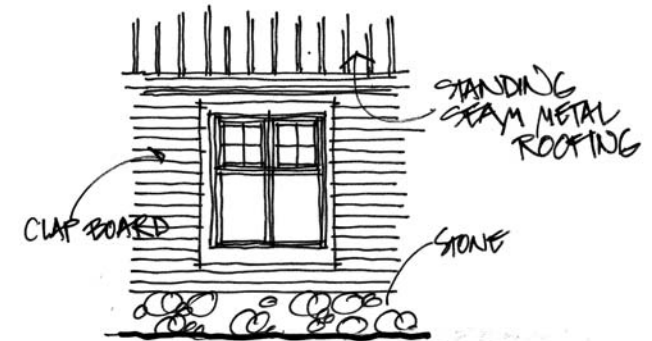
## WINDOWS AND DOORS

Special care and attention must be paid in the placement and number of openings on a house. They should be designed with visual interest and rhythm in mind. When placing windows, a designer should consider the function of interior and exterior spaces, as well as the principles of classical ordering and the centrelines of roofs, gables, dormers, entrances and other exterior elements.

Windows in Grandview Park should portray traditional detailing and authenticity. Where grilles are to be used, they are to be simulated divided lights with a minimum 3/4" width. No plastic, brass or pewter grilles will be allowed. Windows are to maintain a minimum 3" trim. Where no additional trim is provided a 2" brick mould in combination with a 1" sash detail will be deemed acceptable. Stucco battens will not be permitted as brick mould detail.



WOOD  
GARAGE DOORS



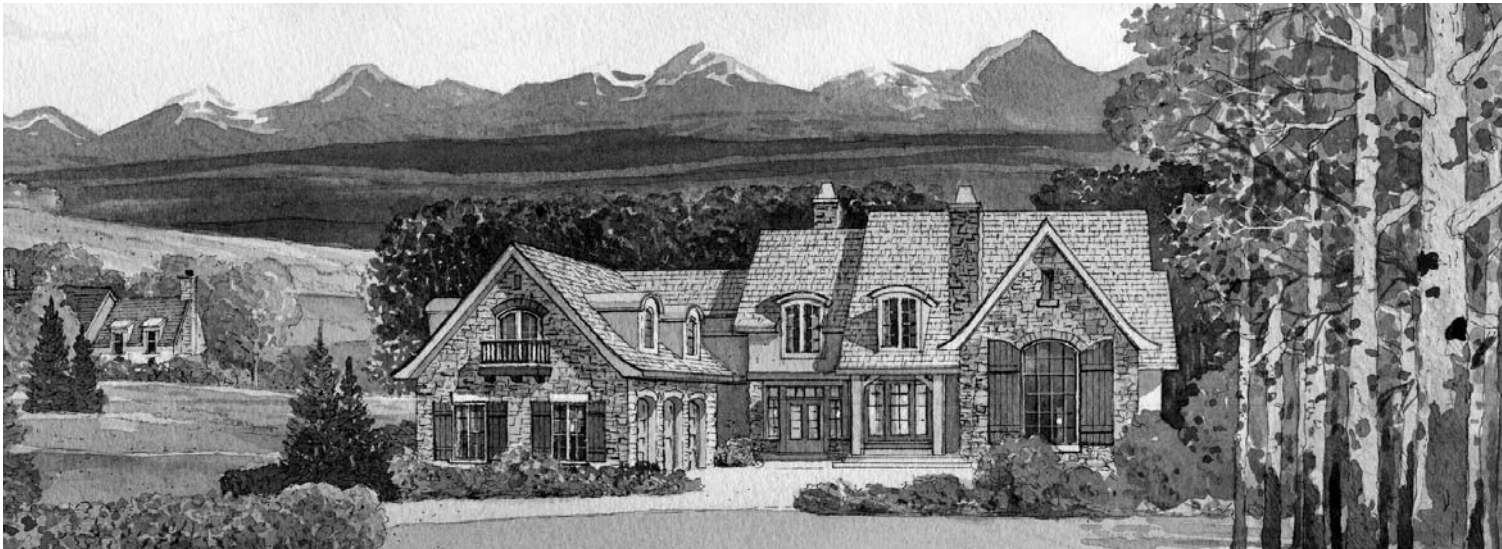
## **GARAGES AND DRIVEWAYS**

Placement of garages should be done so to minimize visual impact from the street. Garages placed at the front of the house and that dominate the front elevation will not be allowed. Garages should never detract from the front entrance, and they should be placed to the side of the home and set back of the front facade whenever possible. If three separate doors are required for the garage, no more than two doors may be on the same plane. Architectural details should be consistent with the style of the house, and doors should be clad to match the detailing of the house proper. If windows are to be used within the garage door, they should be compatible to the house style. Garage doors are to be of wood or wood composite materials and no standard steel doors will be allowed.

Triple garages are the minimum allowed, but where additional parking is required, creative alternatives to a multi-doored attached garage are encouraged. Coach Houses and drive-under parking in the basements of houses are preferred alternatives to multiple garage doors.

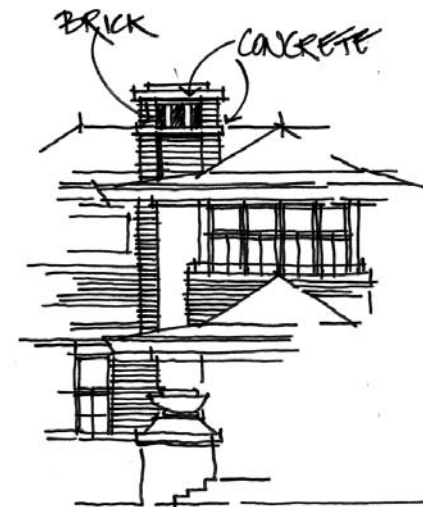
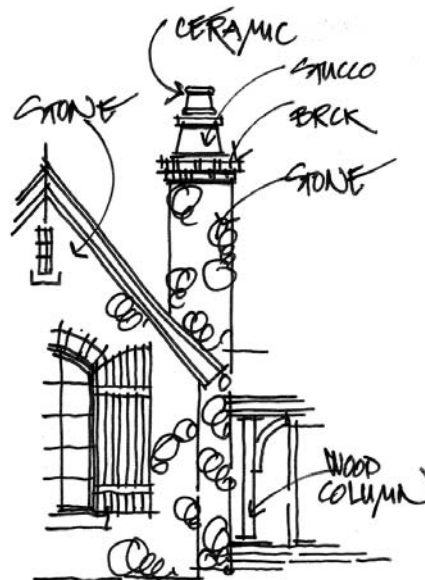
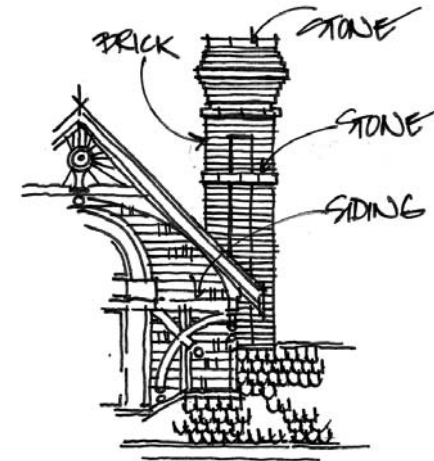
Driveways are to be tapered between the entry approach and the garage area to a narrower width. Asphalt driveways with a stamped asphalt border on both sides are the minimum allowed. Stamped concrete and aggregate driveways are encouraged.

Where RV doors are necessary, they should be placed in such a way as to keep the tops of all overhead doors consistent. This may be accomplished through stepping the grade down to drop the perceived height of the door.



## CHIMNEYS

The hearth has traditionally played a very important part in the family home, and the chimney, as an extension of the hearth needs to be detailed with this in mind. Chimneys should be of substantial proportion and should appear strong and stable. Chimneys should extend fully to grade, and windows above or below a chase will not be considered. Masonry, stucco, siding and shingles are all appropriate finishes for the chimney. Creative shapes are encouraged as long as the overall theme is kept in mind. Exposed metal flues without a chase will not be allowed. Direct vent fireplaces must be non-obtrusive to the street and will be required to be screened and painted to match the house finish.

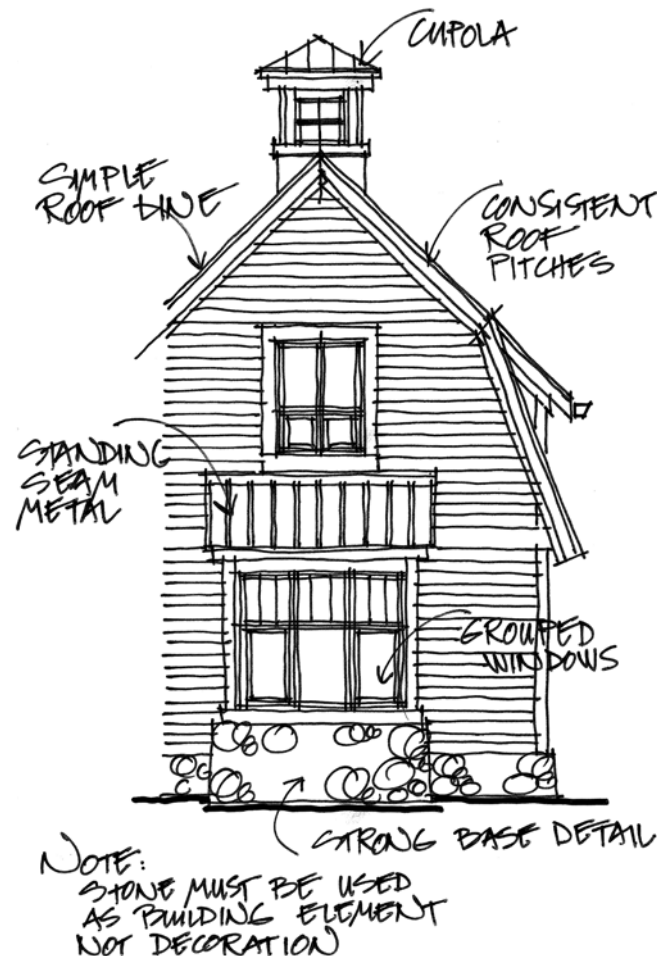


## MATERIALS AND DETAILS

When selecting the outside finishes for new homes, the intention should be to create a sense of belonging within Grandview Park. Locally available, natural materials are strongly encouraged.

The use of masonry is strongly encouraged to provide a feeling of strength and stability. Sandstone, Riverstone, Rundle Rock and Limestone are all readily available around Calgary and have traditionally been used on many of the heritage homes in the area. Stonework patterns and styles vary and their use should suit the theme of the home. Cut stone in coursed patterns evoke a more formal appeal, while split-faced stone in random patterns is much more casual. Brick should be used in colours common to Calgary, red/brown earth-tones would be appropriate, while pinks and greys would not. Stone & brick combinations are applicable to many of the 1920's styles and can be quite dramatic if used properly. When using masonry on your home, placing a base of stone on solely the front elevation will not be allowed. As such, masonry when used, should be used on key elements and will be required to be on all elevations. If masonry is not employed, more detailing and more materials variation will be required. Cultured stone and manufactured concrete tile products are not permitted.

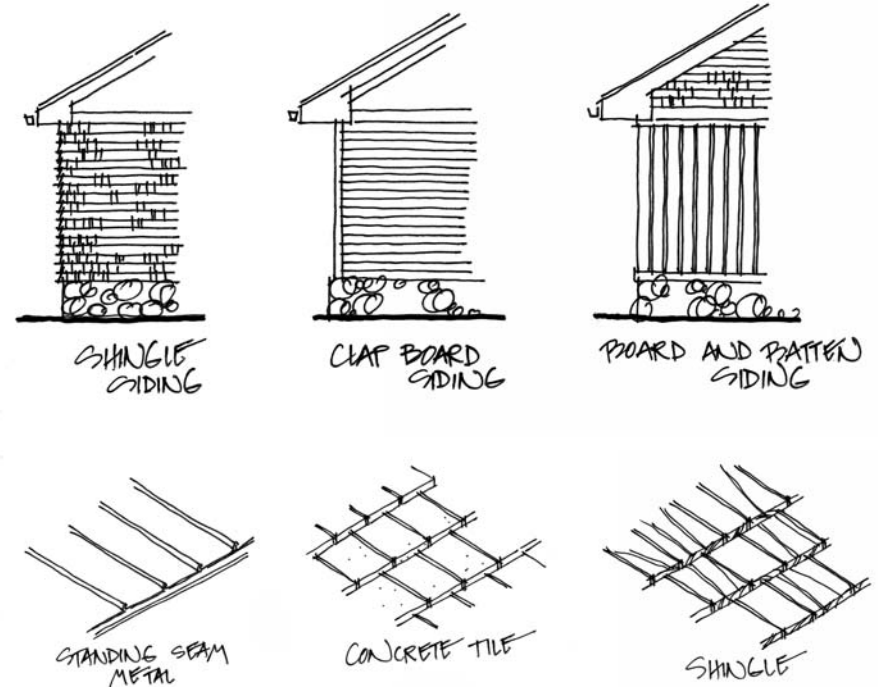
Acrylic and rock dash Stucco are acceptable when their use is appropriate to the style of the home. Cementitious standard stucco in washed-out colours will not be allowed nor will troweled patterns and glass-dash.



Wood siding, wall shingles, board & batten and timber trims are all encouraged. Wood can be used horizontally or vertically, rough or smooth. Composite low-maintenance wood products are a nice alternative that still maintain a natural appearance. Vinyl or aluminum versions, however, are not appropriate. All exposed fascias are to be of wood or composite material, but aluminum will be permitted where eaves trough is installed.

Roofing materials should be chosen to enhance the architecture of the home. Slate, or flat concrete tiles, taper-sawn cedar shakes and architectural asphalt are all acceptable. Wavy ceramic or clay tiles, pine shakes and metal tiles will not be allowed. Three tab standard shingles will not be considered and all asphalt products are to be 25 year minimum. Standing seam metal roofing may be used as a feature, but must be an earth-tone. Primary colours will not be permitted.

Details should be used to provide visual interest to each home. As such, the materials used should be employed in such a way as to be true to the nature of the material itself. Stone has a substantial quality and should be used with this in mind. Stone should never appear to rest upon a roof structure, and when used properly should give the appearance of solid masonry construction. Wood is much more versatile and can be used in numerous applications but should be made to appear hand-crafted as if by traditional methods. Built-out stucco trim and manufactured concrete products will not be permitted.



## COLOUR

Colour is the final consideration in creating that sense of belonging for a new home in its surroundings. Colours should be chosen from the natural landscape with the use of earth-tones. Contrast should be provided between the body of the house and its trim, and accent colour used judiciously to enhance architectural details. Primary colours will not be permitted as colours should be more muted in tone. Deep earth-tones are encouraged and washed-out colours will not be allowed. Exact duplication of house colours will not be permitted.

## **SITING GUIDELINES**

### **BUILDING HEIGHT**

Building height will be measured as follows. A height of 7.0m (23') to the eaves from grade on all sides and an overall building height of 10.0m (32.8') as the average heights of all elevations. Also, any two storey home on a walk-out lot requires that the upper floor be set into the roof structure, no three storey elements will be permitted.

An individual development permit for an over height roof line can be applied for from the MD of Rocky View and will be approved provided the roof height does not exceed 10.67m (35') and upon the review of the architectural build package of the home. Over height applications for shallow pitch roof styles such as the Prairie will not be approved. Allow a minimum of an additional 8 weeks to the building permit process.

### **VIEW CORRIDORS**

One of the main benefits of Grandview Park are the panoramic views, and view corridors have been designed to allow all residents to benefit from these views. View corridors ensure that all homes have vistas from many of their rooms and that no one home will block the view of another. To ensure this, any development that may impact the view corridor of another lot will be subject to tighter restrictions and further scrutiny by the design review committee. Proposed development within these areas will be reviewed on a site specific/design specific basis.



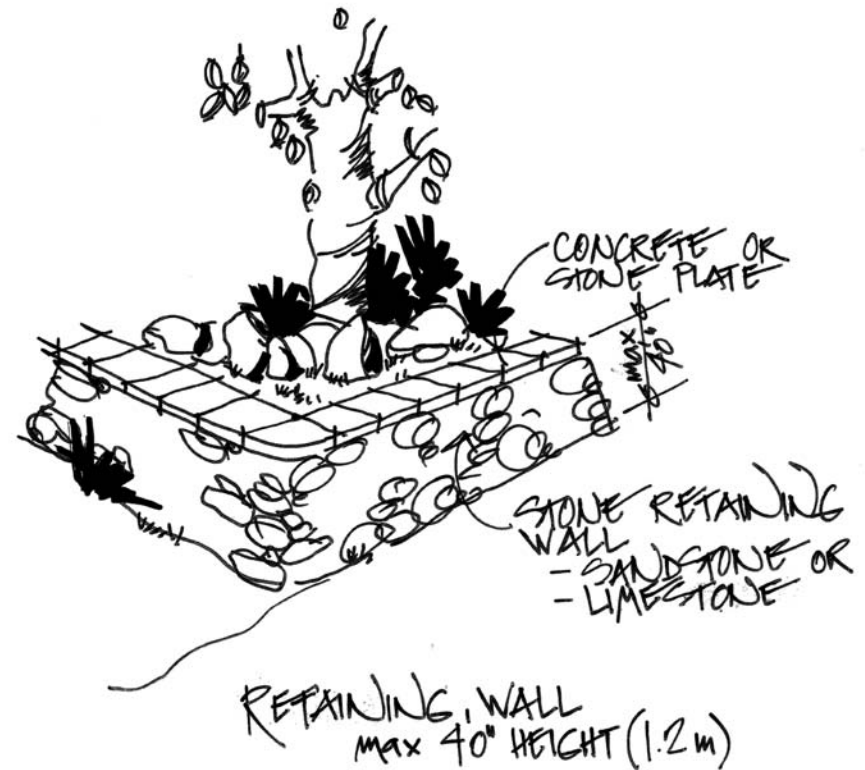
## RETAINING WALLS

To maintain an overall sense of continuity and community theme, any proposed retaining must be of one of the approved materials. Natural Sandstone, Rundle Rock, Riverstone or Limestone will be used for all the Community landscaping and any retaining on the home sites must be the same. Use of other materials may be considered at the design committee's discretion. Retaining walls should step with the grade and no walls should be more than 1.2m (4') in height.

## SITE FIXTURES AND FEATURES

There is an abundance of opportunities to take full advantage of the site features each home site has to offer. Courtyards, Terraces, Decks, Pergolas and Barbecue areas can really enhance the home. Privacy walls, fences, arbours and trellises should be designed as an integral part of the whole and should appear as natural features that have grown out of the site. Terraces and Patios are favoured, but decks are permitted and when used, structural support of decks should be substantial in size and not appear spindly.

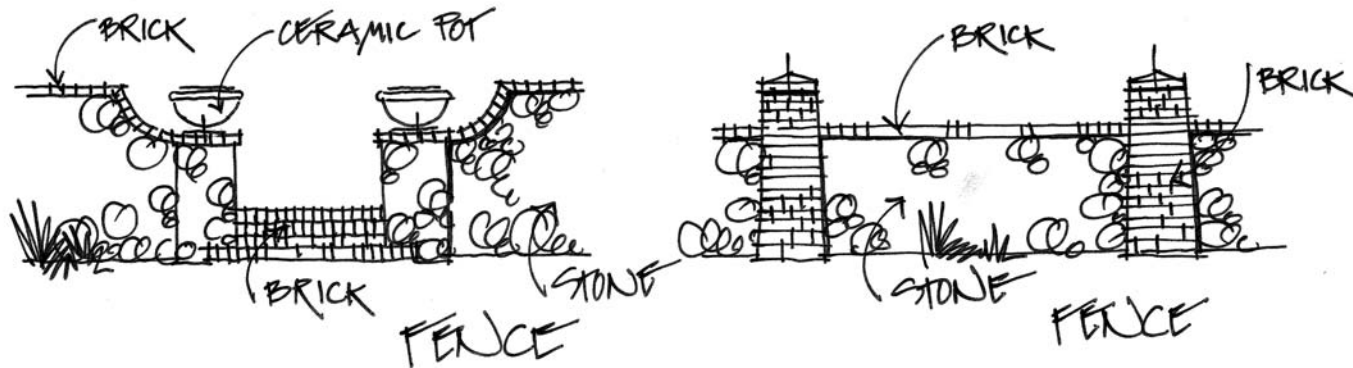
\* See landscaping section for more information



If fencing is desired for privacy, keep in mind that creative plantings oftentimes are even more effective to this end. Where fences are used, they should appear natural and architecturally compatible with the house proper. Fence heights are restricted to 1.6m (5'-6") maximum with privacy fencing in the rear yard only. Dog runs need to be incorporated into the overall design and must not be visible from the street. Chainlink is not allowed, but other alternatives will be reviewed. Fencing along property lines to define land is not permitted, and fenced area is not to exceed the footprint of the house.

## GRADING AND DRAINAGE

Care needs to be taken to maintain, wherever possible, natural drainage patterns and minimize disturbance to the natural landscape. Wholesale grading of lots to provide flat yards will not be allowed. Floor plans, decks and terraces should step with the natural grade. Any retaining walls and drainage swales should be designed to tie smoothly into the existing land. All grading must be in accordance with the storm water plan for the community, and the applicant must supply a grading/drainage plan at the time of their application.



## **LIGHTING**

Lighting must be designed to have low impact to both the street and neighbouring properties. Lighting should be subtle and non-glare, used to enhance architectural features. Bright illumination and flood lights will not be allowed. Provision of power for each entrance feature is the owner's responsibility.

Satellite dishes are to be located in such a way as to be unobtrusive from both the street and neighbouring properties.

## **GARBAGE STORAGE**

All garbage is to be stored inside the home except for on the day of pick-up, commencing 12 hours prior.

## **PANELS AND METERS**

All panels and meters must be clearly identified on the plans and should be located in an enclosed space. Where they cannot be enclosed, they must be recessed and screened.

Smaller Solar Panels with the latest solar panel technology will only be considered in design review.

Geothermal Heating Systems shall be allowed depending on the home site design and construction methods. Perpendicular directional drilling is permitted however parallel trenching will only be considered on certain home sites.



## **ARCHITECTURAL APPROVALS**

### **PROCESS**

Architectural approvals will be done on a committee basis, with submissions being reviewed once a week. Plans will be reviewed at three different stages of the design process to ensure everyone involved is keeping the direction of the community in mind.

#### **Concept Design Review**

At this stage preliminary drawings should be submitted for review to give the Committee a sense of the direction your new home will take. Hand drawn sketches will be allowed at this stage, provided they are to scale and legible. A Concept Design Review submission consists of three sets of the following:

- Completed Concept Design Review Form
- Conceptual site/landscape plan with the information listed on the application form
- Proposed grading with drainage plan and top of sub floor elevation
- Conceptual floor plans of all levels
- Conceptual elevations of all four sides
- Perspective sketch

Once your conceptual drawings have been approved, you may move on to the final design stage. Take time to refine your drawings, taking into account the comments from the Design Review Committee.

#### **Final Design Review**

This stage drawings should be thought out in detail. CADD drawings are required for this stage of the process and hard-copies will not be received. A Final Design Review submission consists of the following:

- Completed Final Design Review Form
- Finalized site plan with the information listed on the application form
- Landscaping plan
- Floor plans of all levels including the basement
- Detailed elevations of all four sides
- Revised perspective sketch

Submissions for both conceptual and final design stages that need to be reviewed more than three times at any design stage will be subject to further fees due to extensive review time and failure to comply with these guidelines.

### **Working Drawings Review**

With the Design Review Committee's approval of the final design of your home, the design process is now complete. Now your designer will provide construction documents (working drawings) and specifications to build your home. Once this is complete, these documents must be submitted to ensure no changes have been made to the design of your home. Once this has been verified, a grade slip can be issued to get the construction for your home underway. Required information for the Working Drawings Review includes four copies of the following:

- Completed Working Drawings Review Form
- \$15,000.00 construction compliance deposit
- \$5,000.00 landscape compliance deposit
- The Builder's Certificate of Insurance
- Updated Site Plan including the information listed on the application form, and showing building corner points and proposed tops of footings and joists.
- Construction Drawings
- Completed Proposed Exterior Colours and Materials Form

### **Grade Slip / Building Permit**

Once Working Drawings have been reviewed and approved a grade slip is issued to your builder. You may now submit your completed drawings to the municipality for a Building Permit. Officials will check for compliance with the Alberta Building Code and all municipal regulations.

A Bearing Certificate is recommended for all home sites.

### **Final Inspection**





## FORMS

### GRANDVIEW PARK CONCEPT DESIGN REVIEW FORM

Date:	Lot:
Owner:	
Address:	Phone:
Architect/Designer:	
Address:	Phone:
Builder:	
Address:	Phone:

For the Design Review Committee to fully review this application, all of the following must be included:

- Conceptual Site/Landscape Plan at 1:200 showing property lines, setbacks, all proposed buildings, driveway, walks, patios, decks, any proposed retaining and any outdoor features and existing vegetation. Site plan to include grades of lot four corner points, centre grade and contour of elevations.
- Proposed grading with drainage plan and top of sub floor elevation.
- Schematic Floor Plans for all levels min. scale 1/8"=1'-0" (3 copies).
- Schematic Elevations for all four sides min. scale 1/8"=1'-0" (3 copies).
- Perspective Sketch of the most prominent view.
- If requested by the Design Review Committee, additional perspective sketches may be required.

Plans should be submitted in the form of CADD Drawings.

Submittal Date:	Meeting Date:
Submitted By:	
Additional Comments:	



**GRANDVIEW PARK  
FINAL DESIGN REVIEW FORM**

Date: _____	Lot: _____
Owner: _____	
Address: _____	Phone: _____
Architect/Designer: _____	
Address: _____	Phone: _____
Builder: _____	
Address: _____	Phone: _____

For the Design Review Committee to fully review this application, all of the following must be included:

- Conceptual Site/Landscape Plan at 1:200 showing property lines, setbacks, contours, spot elevations with any proposed changes, all proposed buildings, driveway noting width and slopes, walks, patios, decks, any proposed retaining and any outdoor features and existing and proposed vegetation. Site plan to include grades of lot four corner points, centre grade and contour of elevations.
- Proposed grading with drainage plan and top of sub floor elevation.
- Schematic Floor Plans for all levels min. scale 1/4"=1'-0".
- Schematic Elevations for all four sides min. scale 1/4"=1'-0".
- Perspective Sketch of the most prominent view.
- If requested by the Design Review Committee, additional perspective sketches may be required.

Plans must be submitted in the form of CADD Drawings.

Submittal Date: _____	Meeting Date: _____
Submitted By: _____	
Additional Comments: _____	
_____	
_____	



**GRANDVIEW PARK  
WORKING DRAWINGS REVIEW FORM**

Date:	Lot:
Owner:	
Address:	Phone:
Architect/Designer:	
Address:	Phone:
Builder:	
Address:	Phone:

For the Design Review Committee to fully review this application, all of the following must be included:

- Updated Site plan showing all final grading, spot elevations at building corner points proposed top of footing and top of joist elevations.
- Completed set of complete Construction Drawings complete with any Specifications.
- Plans should show any changes completed due to the first two stages of Design Review, all finish materials and height calculations on all four sides.
- \$15,000.00 construction compliance deposit.
- \$5,000.00 landscape compliance deposit.
- Builder's Certificate of Insurance.
- Completed Exterior Colours and Materials form.



**GRANDVIEW PARK  
PROPOSED EXTERIOR COLOURS AND MATERIALS FORM**

<b>Building Surface</b>	<b>Material</b>	<b>Manufacturer</b>	<b>Colour</b>
Roof Surface			
Primary Wall Surface			
Secondary Wall Surface			
Foundation			
Trim			
Window Frames			
Window Trim			
Chimney			
Soffit			
Fascia			
Eaves Trough			
Rainwater Leaders			
Porch/Deck Surface			
Railings			
House Doors			
Garage Doors			
Driveways			



## **LANDSCAPE GUIDELINES**



### **SITE FEATURES AND FIXTURES**

Outdoor features enhance a residential property, creating a pleasant transition between indoor and outdoor spaces, and between natural and man-made environments. These features can also make the outdoors more enjoyable by enhancing views, catching the sun's warmth, or providing shelter from the wind. Site features may include:

- Courtyards, terraces and decks,
- Privacy walls and fencing
- Arbours and trellises
- Sports courts, swimming pools and spas
- Play structures
- Barbeque areas.

These elements should be considered at the preliminary design phase. When poorly handled, they can seriously detract from an otherwise attractive home and garden. To create the charm of traditional country homes, features and fixtures in Grandview Park should respond to landforms and

natural conditions, and must be integrated into the site design as a whole. When treated as an extension of the residence, they will appear to have grown together with the house and garden to become a natural feature.

Terraces should be of natural stone or brick, so they complement the house and enhance the landscape. Ground level terraces or patios are preferable to large, above-ground decks. Decks above grade should be kept to a minimum and should not appear to be tacked on as an afterthought. They must be framed with substantial timbers, stone, or brick columns so they don't look like add-ons. Retaining walls, if needed, must be of natural materials such as stone.

The design of courtyards can extend the living areas of the home and should be designed with the same attention to detail as the home itself. When fencing is desired materials such as stone, brick, or timbers should be used and must be architecturally compatible with the house proper. Fence heights are restricted to 1.6 m (5'6") maximum in the rear yard, and 1.1 m (3'6") high in the front yard. An entry gate to the front courtyard is allowed. The total fenced area is not to exceed the footprint of the house. Fencing along property lines to define the land is not permitted. Gates at driveway approaches and property lines are not allowed.

Dog runs need to be incorporated into the overall design and must not be visible from the street. Chain link is not allowed, but other alternatives will be reviewed and considered by the design committee.

## **VEGETATION AND LANDSCAPING**

At Grandview Park, landscaping will enhance the area's natural beauty. Artificial hard landscaping materials such as concrete or asphalt paving should be minimized. Instead of concrete walks, for example, homeowners could design stone pathways, which have much more natural appeal.

Vegetation and plant material offer a rich array of colours and shapes to accent the property. Appropriate plant material enhances architecture, defines outdoor spaces, frames views and knits structures to the site. This should be kept in mind during the design phase, so advantage can be taken of existing trees and shrubs, and to ensure that new plantings complement the existing vegetation. Be sure to include "function" in the design process. For example, deciduous trees provide shade in summer, while letting sunshine in during the winter when the leaves are gone. Evergreen trees and shrubs screen undesirable views and provide excellent windbreaks.

Make the most of natural colour to highlight each season. Flowering shrubs and wildflowers bloom through the spring, bringing an otherwise pale earth to life. Many hues of green brighten the summer landscape, ending with a blaze of colour in the fall. Evergreens add a cheerful note in the winter.

Lots backing onto the natural ravine, in particular, should keep manicured lawns to a minimum, immediately adjacent to the residence. Make sure the manicured grass makes a natural transition to the natural vegetation at the back of the property. Native plant cover on site should be carefully

preserved. Lots on former agricultural lands, without native plant growth have more flexibility for creating ornamental and manicured settings. All home sites in Grandview Park will be required to have a minimum of 25% natural landscaping while home sites supporting existing native vegetation will be required to maintain a minimum of 33% up to 40% of natural landscaping. This percentage will be evaluated at the discretion of the review committee.

Selection and placement of new plant material will vary from property to property, but several key principles apply to all sites:

Place plants to enhance continuity between indoor and outdoor spaces by creating outdoor "rooms" or framing views, taking care not to block other homeowners' views. Cluster plants in groupings, avoiding an individual planting or a straight row of plants. Avoid plants that contrast with existing vegetation. Native materials will look more natural.

Be sure the plant material is native to the Calgary area. In addition to helping to preserve the area's natural character, native species are hardy, and tend to need less care. Planting species that are not native to our prairie setting will be discouraged. Rehabilitating and re-establishing natural prairie grasses in open spaces and retained areas is an attractive option.

All plant material must be nursery grown and must conform to the standards of the Canadian Nursery Trades Association. A comprehensive list of appropriate plant species is included on the following page.

## NATIVE TREES AND SHRUBS

	<i>Botanical Name</i>	<i>Common Name</i>
EVERGREEN TREES	Picea glauca Picea pungens Pinus contorta latifolia	White Spruce Colorado Spruce Lodgepole Pine
DECIDUOUS TREES	Betula nigra Betula papyrifera Populus balsamifera Populus x 'Brooks #6' Populus sargentii Populus tremuloides Prunus pensylvanica Prunus virginiana melanocarpa	River Birch Paper Birch Balsam Poplar Brooks #6 Poplar Plains Cottonwood Trembling Aspen Pin Cherry Chokecherry
EVERGREEN SHRUBS	Juniperus communis Juniperus horizontalis Juniperus sabina Juniperus scopulorum Pinus mugo pumilo Pinus mugo mugo	Common Juniper Creeping Juniper Savin Juniper Rocky Mountain Juniper Dwarf Mugo Pine Mugo Pine

## NATIVE TREES AND SHRUBS

### DECIDUOUS SHRUBS

#### *Botanical Name*

Amelanchier alnifolia  
Arctostaphylos uva-ursi  
Cornus stolonifera  
Elaeagnus commutata  
Ledum groenlandicum  
Lonicera involucrata  
Potentilla fruticosa  
Prunus pensylvanica  
Ribes alpinum  
Ribes hudsonianum  
Ribes oxycanthoides  
Rosa acicularis  
Rosa woodsii  
Rubus idaeus  
Rubus pubescens  
Salix bebbiana  
Salix discolor  
Salix exigua  
Salix glauca  
Shepherdia canadensis  
Symphoricarpos albus  
Symphoricarpos occidentalis

#### *Common Name*

Saskatoon  
Bearberry  
Red Osier Dogwood  
Wolf Willow  
Labrador tea  
Twinberry Honeysuckle  
Shrubby cinquefoil  
Pin Cherry  
Alpine Currant  
Wild Black Currant  
Wild Gooseberry  
Prickly Rose  
Common Wild Rose  
Wild Red Raspberry  
Dewberry  
Beaked Willow  
Pussy Willow  
Sandbar Willow  
Smooth Willow  
Russet Buffaloberry  
Snowberry  
Buckbrush

## ORNAMENTAL TREES

For lots where a more ornamental and manicured character is appropriate, the following species of deciduous trees could be considered.

	<i>Botanical Name</i>	<i>Common Name</i>
ORNAMENTAL TREES	<i>Acer negundo</i>	Manitoba Maple
	<i>Crateagus succulenta</i>	Fleshy Hawthorne
	<i>Fraxinus nigra</i> "Fallgold"	Fallgold Black Ash
	<i>Fraxinus pennsylvanica</i>	Green Ash
	<i>Malus x 'Makamik'</i>	Makamik Crabapple
	<i>Maulus 'Strathmore'</i>	Strathmore Flowering Crabapple
	<i>Prunus pensylvanica</i>	Mayday Tree
	<i>Prunus virginiana melanocarpa</i>	Chokecherry



## **GRADING AND DRAINAGE**

Grandview Park has been engineered to provide adequate drainage for each lot without the need for further grading. With careful design, all homes can be placed in such a way that the natural landscape can be maintained as much as possible.

Innovative planning and slope-adaptive design, such as stepping foundations, not only create dynamic interior spaces, but will limit disturbance of the site. This holds true for decks and patios too. Terraced outdoor spaces should step with the natural grade. Grading to create a flat building site on existing slopes will not be allowed.

Grading, where necessary, should be primarily limited to the Site Development Envelope and any grade outside this envelope should remain intact. Where grading is used, no slope should exceed 3:1. Where possible, grading should

divert runoff water to benefit existing vegetation and/or new plantings. Grading must be in accordance with the storm water plan. Applicants must supply a grading/drainage plan at the time of application.

Any and all retaining walls must be designed to tie into the character of the residence. Masonry retaining walls and landscape boulders are encouraged, and will help tie the home to the site. Bare concrete retaining walls will not be permitted; walls must be clad in masonry and should match the masonry of the home. If the home does not contain masonry elements, retaining walls must be finished with sandstone, riverstone, rundle rock, or limestone. Use of other materials may be considered at the design committee's discretion. Retaining walls should not exceed 1.20m in height, so any drop greater than that must be handled as a series of stepping walls.



## NOTES



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